



# Board of Adjustment Staff Report

Meeting Date: August 2, 2018

Agenda Item: 8E

VARIANCE CASE NUMBER: WPVAR18-0004 Eekhoff Residence

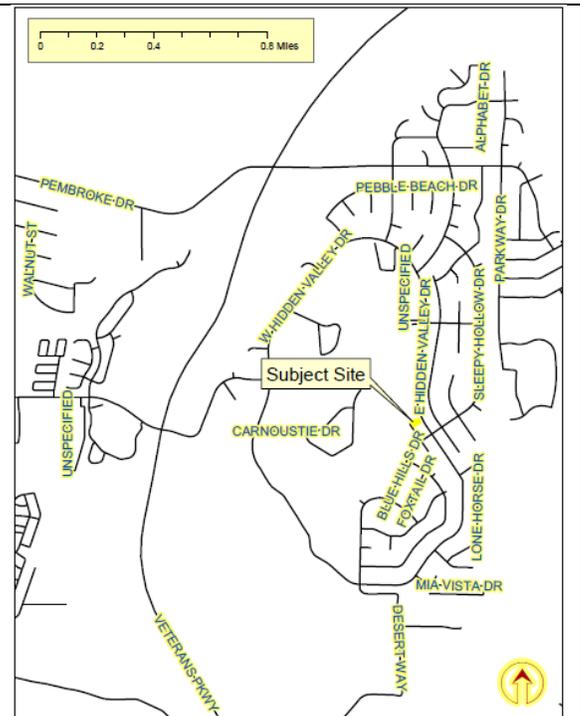
BRIEF SUMMARY OF REQUEST: Setback reduction for two front yards and one side yard to bring a home under construction into conformance with code requirements.

STAFF PLANNER: Planner's Name: Trevor Lloyd  
Phone Number: 775.328.3617  
E-mail: [tlloyd@washoecounty.us](mailto:tlloyd@washoecounty.us)

### CASE DESCRIPTION

For possible action, hearing, and discussion to approve a variance to reduce the eastern front yard setback from 30 feet to 20 feet, to reduce the western front yard setback from 30 feet to 20 feet and to reduce the northern side yard setback from 15 feet to 8 feet. The setback reductions are needed to bring a home into conformance with Washoe County Code requirements. The home has already been issued a building permit by Washoe County and is currently under construction.

Owner/Applicant: Todd and Marci Eekhoff  
Location: 5545 E. Hidden Valley Dr.  
APN: 051-293-07  
Parcel Size: .58 Acres  
Master Plan: Suburban Residential  
Regulatory Zone: Medium Density Suburban  
Area Plan: Southeast Truckee Meadow  
Citizen Advisory Board: South Truckee Meadows/Washoe Valley  
Development Code: Authorized in Article 804, Variances  
Commission District: 2 – Commissioner Lucey



### STAFF RECOMMENDATION

APPROVE

**APPROVE WITH CONDITIONS**

DENY

### POSSIBLE MOTION

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve Variance Case Number WPVAR18-0004 for Eekhoff residence, with the Conditions of Approval included as Exhibit A for this matter, having made all four required findings in accordance with Washoe County Development Code Section 110.804.25.

*(Motion with Findings on Page 13)*

**Staff Report Contents**

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**Variance Definition**

The purpose of a Variance is to provide a means of altering the requirements in specific instances where the strict application of those requirements would deprive a property of privileges enjoyed by other properties with the identical regulatory zone because of special features or constraints unique to the property involved; and to provide for a procedure whereby such alterations might be permitted by further restricting or conditioning the project so as to mitigate or eliminate possible adverse impacts. If the Board of Adjustment (Board) grants an approval of the Variance, that approval is subject to Conditions of Approval. Conditions of Approval are requirements that need to be completed during different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., a grading permit, a building permit, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy on a structure.
- Prior to the issuance of a business license or other permits/licenses.
- Some Conditions of Approval are referred to as "Operational Conditions." These conditions must be continually complied with for the life of the business or project.

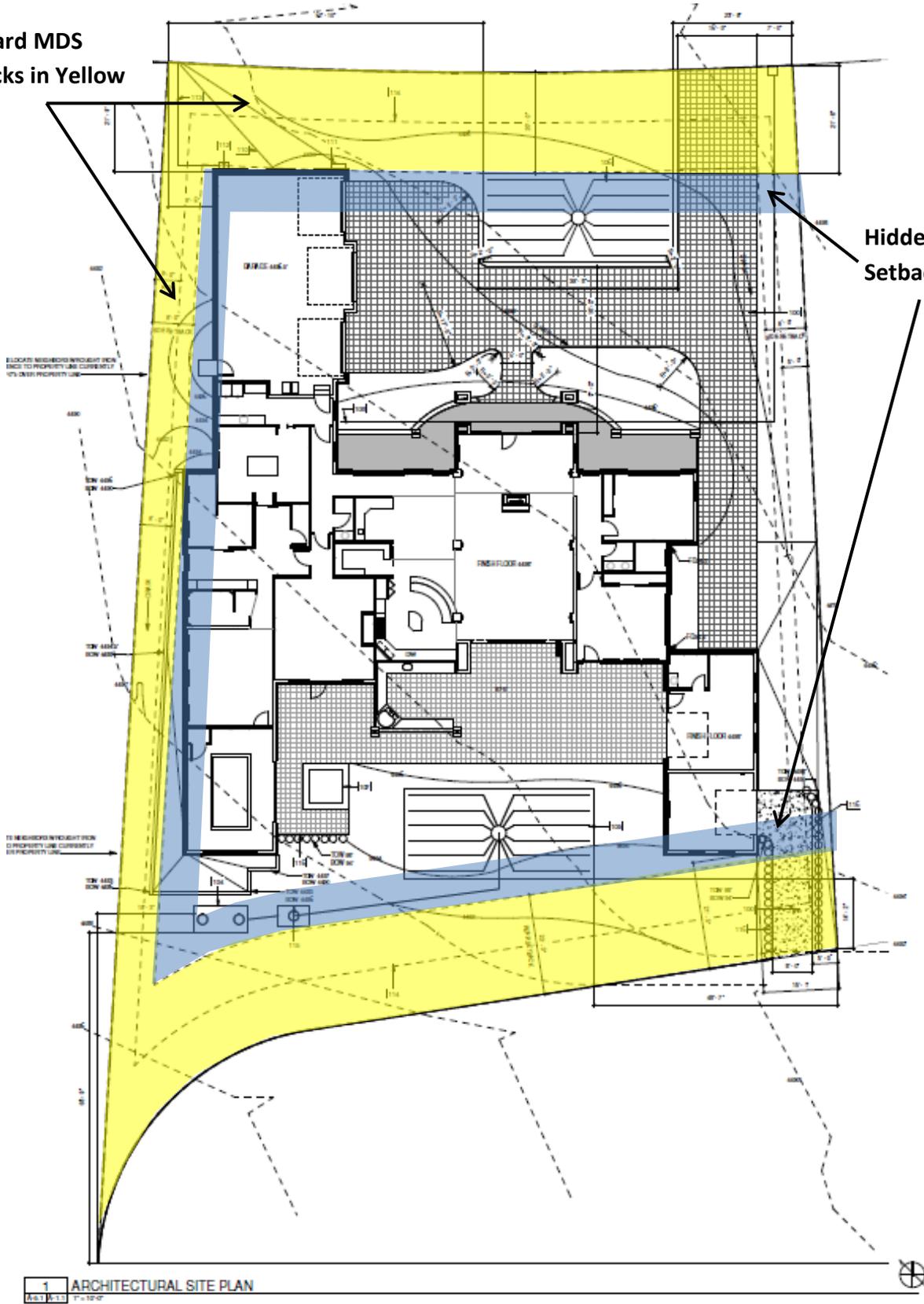
The Conditions of Approval for Variance Case Number WPVAR18-0004 are attached to this staff report and will be included with the Action Order if the application is approved by the Board.

The subject property is .58 acres in size and has a regulatory zone of Medium Density Suburban (MDS) and is surrounded by similar MDS properties on all four sides. The required setback for this property (pursuant to WCC Chapter 110, Article 212, *Southeast Truckee Meadows Area Plan*) is 30 feet front and rear and 15 feet on the sides.



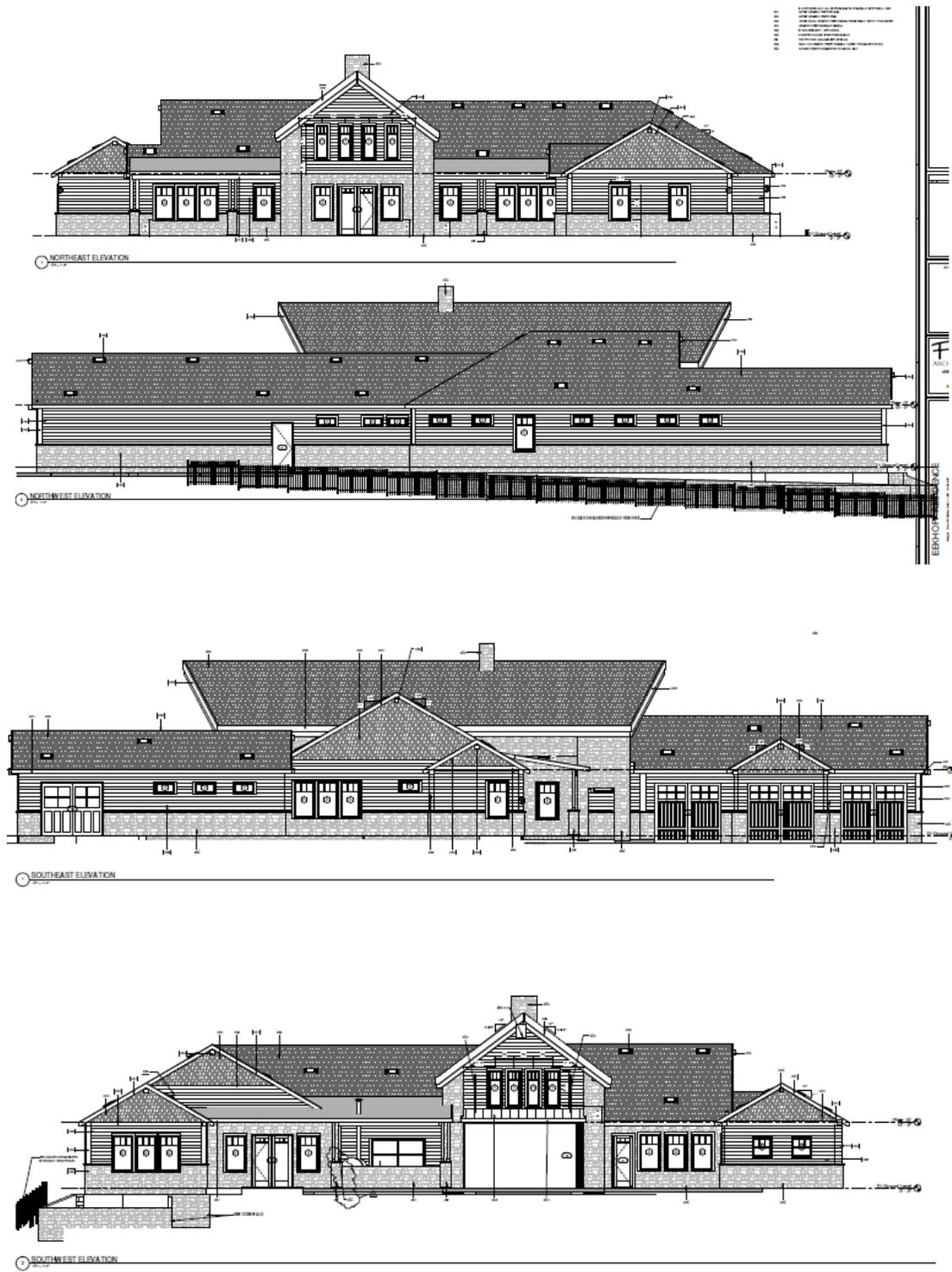
Standard MDS  
Setbacks in Yellow

Hidden Valley MDS  
Setbacks in Blue



**Site Plan**





**Elevations**





**Rendering illustrating completed landscaping - Northwest**

**Project Evaluation**

The need for this variance has come about due to a staff error on a set of building plans submitted by the applicant. In September, 2017, Washoe County issued a building permit for the construction of a residence placed 20 feet from the front yard property lines along both the east and the west property lines as well as 8 feet from the north side yard property line. The property has a regulatory zone of Medium Density Suburban (MDS) and the standard setbacks within the MDS regulatory zone is 20 feet from the front and rear and 8 feet on the sides. However, WCC Section 110.212.10(i), *Hidden Valley Community Area Modifiers – Setbacks*, requires the front yard setbacks to be 30 feet for front yards and 15 feet for side yards for parcels greater than .4 acres in size. The subject property is .58 acres in size, and is located within the Hidden Valley Community Area as depicted in WCC Map 110.212.10.1. Below is setback language per WCC Section 110.212.10(i).

***Setbacks.** Setbacks for the main structure on lots recorded prior to the effective date of this Ordinance (March 31, 2002) shall be thirty (30) feet for the front and twenty (20) feet for the rear yards. Lots with two (2) front yards shall maintain the setback for both front yards. Side yard setbacks for the main structure shall be eight (8) feet for parcels less than .4 acres and fifteen (15) feet for parcels more than .4 acres. Setbacks for structures on lots recorded after the effective date of this Ordinance (March 31, 2002) shall require the lots adjacent to developed lots to adhere to this setback standard.*

The issuance of the permit conflicts with the above Code provision and was brought to staff's attention by the adjoining neighbor to the north. At the time staff was made aware of this situation, the construction of the home was well under way and included earthwork, the placement of footings and stem walls. Staff immediately scheduled a meeting with the property owners as well as the adjoining neighbor to try to resolve the matter and provided the property owners with the options of either tearing down the home and starting over or applying for a variance to allow for the reduced setbacks. The property owners elected to submit this variance to request the reduced setbacks.

#### Impacts:

The impacts associated with the proposed variance are primarily to the neighboring property to the north due to the location of the subject home under construction, which is located 8 feet from the property line at its closest location. It should be mentioned that the subject residence is located 8 feet from the north property line at one location but the average setback of the house is over 10 feet along most of this property line (see site plan on page 6). Additionally, the location of the neighboring residence to the north is approximately 45 to 50 feet away from the closest wall of the proposed residence. Staff has proposed a condition that the applicant installs a minimum of 12 trees along the north property line. The trees will be a minimum of ten feet tall at the time of planting and will include a mix of different species including both evergreen and deciduous. Also, the trees will be staggered to avoid the appearance of a uniform wall and give a more natural look (see rendering on page 9).

#### Site Analysis:

The subject parcel is located within the Hidden Valley 1 subdivision which is a part of the Hidden Valley Area Plan modifiers. The subject property is located within the Medium Density Suburban (MDS) regulatory zone and is approximately .58 acres in size which is consistent with the regulatory zones and lot sizes of most of the surrounding properties. The adjacent parcels to the east are approximately one-third acre in size, the adjacent parcels to the west are approximately one acre in size, and the area to the west has been fully-developed for some time. The property does not contain any significant development constraints per the Southeast Truckee Meadows Development Suitability map.

#### Findings:

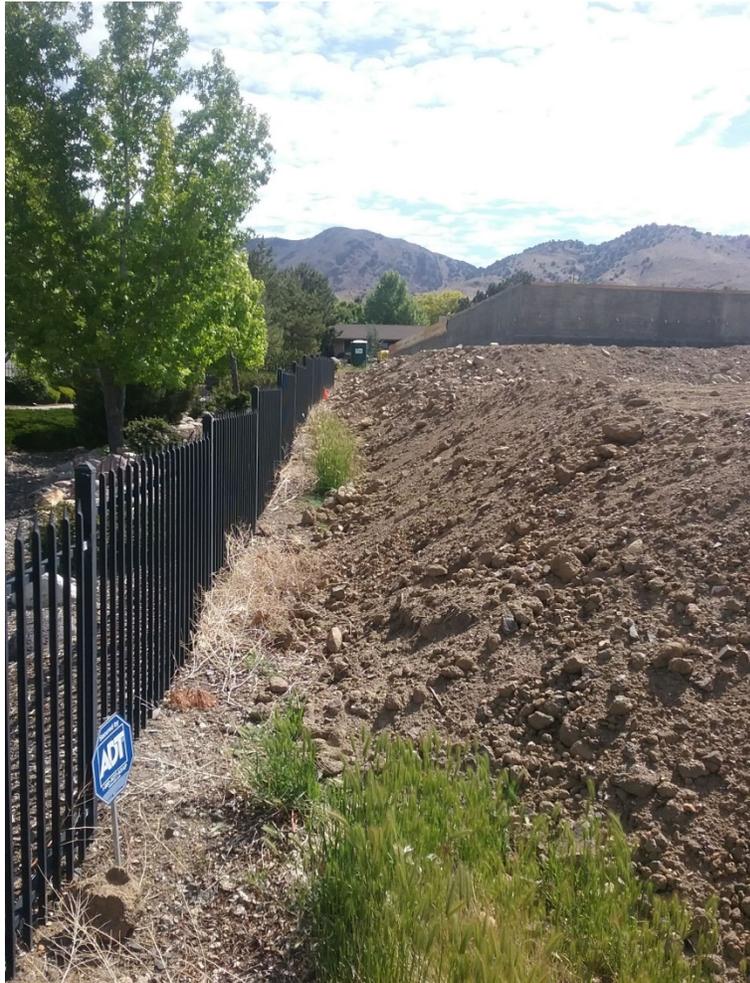
##### Special Circumstances/Hardship or Self Induced Hardship:

WCC Chapter 110 (Development Code) sets forth specific reasons that constitute special circumstances or a hardship upon a parcel that are acceptable for the granting of a variance. Those reasons are enumerated in WCC Section 110.804.25(a) as follows:

- (1) Exceptional narrowness, shallowness or shape of the specific piece of property, or
- (2) By reason of exceptional topographic conditions, or
- (3) Other extraordinary and exceptional situation or condition of the property and/or location of surroundings,

The variance request is necessitated by a mistake made by the applicant as well as Planning and Building Division staff during the review of the building permit. There may be sufficient circumstances for the Board of Adjustment to make the findings for approval of the variance request. The setbacks established by the approved building plans are consistent with the minimum setbacks of the MDS regulatory zone as established in WCC Table 110.406.05.1. Additionally, the setbacks are consistent with the minimum setbacks for MDS properties within the Hidden Valley Modifiers (WCC section 110.212.10(i)) which are .4 acres in size or smaller. However, the subject property is .58 acres in size and must, therefore, adhere to the increased setbacks. Additionally, the language which establishes these setbacks in WCC Section

110.212.10(i) is unclear and convoluted in sharp contrast with the standard MDS setbacks per WCC Table 110.406.05.1.



**Site Photo at North Property Line**

### **Site Grading**

In addition to the setback issues identified above, it was also brought to staff's attention that the grading activity on the subject property may not be in conformance with the grading standards of WCC Chapter 110, Article 212. Specifically, the existing grading activity appears to violate provisions 1 and 2 below involving fill slopes steeper than four to one (4:1) and fills that differ from the natural grade by more than forty-eight (48) inches (see site photo above). The pertinent excerpt from WCC Section 110.212.10(b) appears below:

#### **WCC Section 110.212.10(b) - Grading**

Grading for subdivision improvements, minor or major special use permits or other discretionary or building permits shall:

- (1) Not result in slopes on fill in excess of or steeper than four to one (4:1).
- (2) Not result in elevations or fill that differ from the natural grade by more than forty-eight (48) inches or when grading occurs adjacent to an existing residence, fills shall not be placed within an area that exceeds a projected slope of four to one (4:1) for a distance of forty (40) feet from the common property line. Refer to Figure 110.212.10.1, Typical Setback at Existing Residence.

- (3) Be limited on cut slopes to equal to, or steeper than, three to one (3:1) and may include a rockery or manufactured masonry retaining wall with a maximum height of eight (8) feet. If necessary, one (1) additional retaining wall set back eight (8) feet from the first wall will be allowed.
- (4) If the applicant proposes cut, fills or slopes in excess of the standard, the applicant shall address compatibility with adjacent lots and visual impacts to the community and propose design criteria, landscaping and buffering to mitigate impacts on adjacent property owners and the community's scenic character. The mitigation shall be reviewed by the Design Review Committee prior to any ground-disturbing activities.

Staff Comment: Staff has included a proposed condition #1(c) which shall require the applicant to provide the Planning and Building Division with a plan to ensure compliance with all of the grading provisions of Article 212 and Article 438 of the Development Code.

### **South Truckee Meadows/Washoe Valley Citizen Advisory Board (STM/WV CAB)**

The proposed project was presented by the applicant's representative at the regularly scheduled Citizen Advisory Board meeting on July 5, 2018. There was little discussion regarding the proposed request. The CAB recommended unanimously to approve the proposed variance.

### **Reviewing Agencies**

The following agencies received a copy of the project application for review and evaluation.

- Washoe County Community Services Department
  - Planning and Building Division
  - Engineering and Capital Projects Division – Land Development
  - Engineering and Capital Projects Division - Utilities
  - Engineering and Capital Projects Division - Traffic
- Washoe County Health District
- Truckee Meadows Fire Protection District
- Regional Transportation Commission
- Washoe Storey Conservation District
- City of Reno – Community Development

2 out of the 9 above listed agencies/departments provided comments and/or recommended conditions of approval in response to their evaluation of the project application. A **summary** of each agency's comments and/or recommended conditions of approval and their contact information is provided. The Conditions of Approval document is attached to this staff report and will be included with the Action Order.

- Washoe County Planning and Building Division addressed findings, the landscaping requirements and grading for the property.  
**Contact: Trevor Lloyd, 775.328.3617, [tlloyd@washoecounty.us](mailto:tlloyd@washoecounty.us)**
- Washoe County Engineering and Capital Projects Division addressed grading requirements  
**Contact: Leo Vesely, 775.328.2041, [ivesely@washoecounty.us](mailto:ivesely@washoecounty.us)**

### **Staff Comment on Required Findings**

Washoe County Code Section 110.804.25 requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the request.

Staff has completed an analysis of the variance application and has determined that the proposal is in compliance with the required findings as follows.

1. Special Circumstances. Because of the special circumstances applicable to the property, including exceptional narrowness, shallowness or shape of the specific piece of property; exceptional topographic conditions; extraordinary and exceptional situation or condition of the property and/or location of surroundings; the strict application of the regulation results in exceptional and undue hardships upon the owner of the property.

Staff Comment: The applicant received a building permit and has completed a considerable amount of construction of his single family residence. The building plans were submitted and approved based on the assumption that the established setbacks were regulated per WCC Table 110.406.05.1 and did not consider the special Hidden Valley Area modifier setbacks in WCC Chapter 110, Article 212.

2. No Detriment. The relief will not create a substantial detriment to the public good, substantially impair affected natural resources or impair the intent and purpose of the Development Code or applicable policies under which the variance is granted.

Staff Comment: The construction of the house will have impacts, specifically to the neighboring property to the north. The impacts can be mitigated by the code requirement to ensure adherence to all grading requirements and the condition for significant landscaping along the northern boundary, which will help soften the appearance of the new residence from the existing residence. Additionally, the location of the new home will be located between 45 and 50 feet from the existing home to the north.

3. No Special Privileges. The granting of the variance will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and the identical regulatory zone in which the property is situated.

Staff Comment: The encroachment of the property into the setbacks per the Hidden Valley Area modifiers is not unique within the vicinity of the site. There are numerous other homes within close proximity and with similar lot sizes and the identical regulatory zone (MDS) that are encroaching into the established setbacks.

4. Use Authorized. The variance will not authorize a use or activity which is not otherwise expressly authorized by the regulation governing the parcel of property.

Staff Comment: The property is established for residential purposes. The proposed variance will not grant a use which is not authorized within the adopted regulatory zone.

5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Staff Comment: There are no military installations within close proximity to the subject property; therefore, this finding is not required.

## **Recommendation**

Those agencies which reviewed the application recommended conditions in support of approval of the project or provided no comments. Therefore, after a thorough analysis and review, Variance Case Number WPVAR18-0004 is being recommended for approval with conditions. Staff offers the following motion for the Board's consideration.

## **Motion**

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve Variance Case Number WPVAR18-0004 for Eekhoff residence, with the Conditions of Approval included as Exhibit A for this matter, having made all four required findings in accordance with Washoe County Code Section 110.804.25:

1. Special Circumstances. Because of the special circumstances applicable to the property, including exceptional narrowness, shallowness or shape of the specific piece of property; exceptional topographic conditions; extraordinary and exceptional situation or condition of the property and/or location of surroundings; the strict application of the regulation results in exceptional and undue hardships upon the owner of the property;
2. No Detriment. The relief will not create a substantial detriment to the public good, substantially impair affected natural resources or impair the intent and purpose of the Development Code or applicable policies under which the variance is granted;
3. No Special Privileges. The granting of the variance will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and the identical regulatory zone in which the property is situated;
4. Use Authorized. The variance will not authorize a use or activity which is not otherwise expressly authorized by the regulation governing the parcel of property;

### **Appeal Process**

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant.

Owner/Applicant: Todd Eekhoff  
5705 Lone Horse Drive  
Reno, NV 89502  
(toddsbodyshop@yahoo.com)

Representatives: Frame Architecture, Inc.  
Attn: Jeff Frame  
4090 South McCarran Blvd, Suite E  
Reno, NV 89502  
(jframe@framearchitecture.com)



# Conditions of Approval

Variance Case Number WPVAR18-0004

The project approved under Variance Case Number WPVAR18-0004 shall be carried out in accordance with the Conditions of Approval granted by the Board of Adjustment on August 2, 2018. Conditions of Approval are requirements placed on a permit or development by each reviewing agency. These Conditions of Approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act or to abide by all other generally applicable Codes, and neither these conditions nor the approval by the County of this project/use override or negate any other applicable restrictions on uses or development on the property.

**Unless otherwise specified**, all conditions related to the approval of this Variance shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this Variance is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the Variance may result in the institution of revocation procedures.

Washoe County reserves the right to review and revise the conditions of approval related to this Variance should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, “may” is permissive and “shall” or “must” is mandatory.

Conditions of Approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some “Conditions of Approval” are referred to as “Operational Conditions.” These conditions must be continually complied with for the life of the project or business.

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

**Washoe County Planning and Building Division**

1. The following conditions are requirements of the Planning and Building Division, which shall be responsible for determining compliance with these conditions.

**Contact: Trevor Lloyd, (775) 328-3620, tlloyd@washoecounty.us**

- a. The applicant shall demonstrate substantial conformance to the plans approved as part of this variance. The Planning and Building Division shall determine compliance with this condition.
- b. The applicant shall submit complete construction of the residence within two years from the date of approval by Washoe County. Compliance with this condition shall be determined by the Planning and Building Division.
- c. The applicant shall submit a revised grading plan to ensure compliance with Washoe County Code Chapter 110, Article 212 and Article 438.
- d. The applicant shall plant a minimum of 12 trees along the north property line. The trees shall include a variety of species including a mix of evergreen and deciduous. The trees shall be a minimum of ten feet tall at time of planting. This landscaping shall be completed prior to issuance of a certificate of occupancy by Washoe County.
- e. The following **Operational Condition(s)** shall be required for the life of the development:
  - i. Failure to comply with the conditions of approval shall render this approval null and void. Compliance with this condition shall be determined by Planning and Building.

**Washoe County Engineering and Capital Projects Division**

2. The following conditions are requirements of the Engineering and Capital Projects Division, which shall be responsible for determining compliance with these conditions.

**Contact: Leo Vesely, (775) 328-3620, lvesely@washoecounty.us**

- a. All grading shall be in accordance with the Washoe County Code Chapter 110, Article 438, *Grading Standards*.

\*\*\* End of Conditions \*\*\*



# WASHOE COUNTY

## COMMUNITY SERVICES DEPARTMENT

### Engineering and Capital Projects

1001 EAST 9<sup>TH</sup> STREET  
PO BOX 11130  
RENO, NEVADA 89520-0027  
PHONE (775) 328-3600  
FAX (775) 328.3699

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### INTEROFFICE MEMORANDUM

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**DATE:** July 09, 2018

**TO:** Trevor Lloyd, Planning and Building Division

**FROM:** Leo R. Vesely, P.E., Engineering and Capitol Projects Division

**cc:** Clara Lawson, P.E., Engineering and Capitol Projects Division  
Timothy Simpson, P.E. Engineering and Capital Projects Division

**SUBJECT: WPVAR18-0004**  
**APN 051-293-07**  
**ECKHOFF RESIDENCE VARIANCE**

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Washoe County Engineering and Capital Project staff has reviewed the referenced variance case and has the following conditions with respect to Drainage (County Code 110.420), Grading (County Code 110.438), Traffic and Roadway (County Code 110.436) or Utilities (County Code 110.422 & Sewer Ordinance).

1. All grading shall be in accordance with the Washoe County Code Article 438 Grading Standards.

LRV/lrv



INTEGRITY



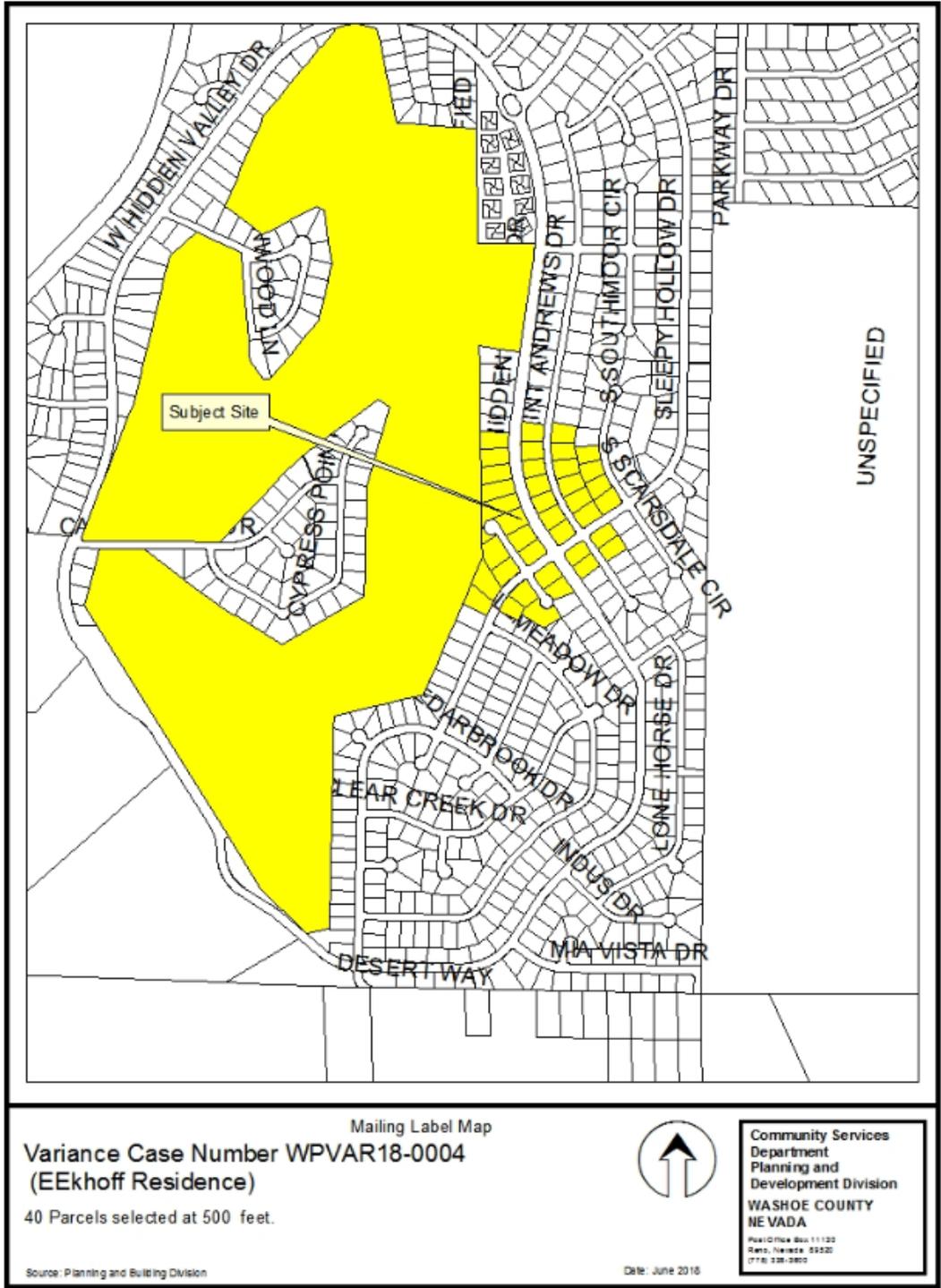
EFFECTIVE COMMUNICATION



QUALITY PUBLIC SERVICE

**Public Notice**

Pursuant to Washoe County Code Section 110.804.20 public notification consists of notification by mail of at least 30 separate property owners within a minimum 500-foot radius of the subject property. This proposal was noticed within a 500-foot radius of the subject property, noticing 75 separate property owners.



**NOTICING MAP**

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name:			
Project Description:			
Project Address:			
Project Area (acres or square feet):			
Project Location (with point of reference to major cross streets <b>AND</b> area locator):			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
Section(s)/Township/Range:			
<b>Indicate any previous Washoe County approvals associated with this application:</b>			
Case No.(s).			
<b>Applicant Information</b> (attach additional sheets if necessary)			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
<b>For Office Use Only</b>			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	







# NOTICE OF TAXES WASHOE COUNTY, NEVADA

TAMMI DAVIS TREASURER  
tax@washoecounty.us  
Annual - Real

2017176348  
www.washoecounty.us/treas  
PHONE 775-328-2510  
FAX 775-328-2500  
06/11/2018 9:53 am

**OFFICE LOCATION:**  
**1001 E NINTH ST-BLDG D RM140**  
**RENO, NV**

TAX YEAR	PIN	NAME	PROPERTY LOCATION AND DESCRIPTION
2017	05129307	EEKHOFF, TODD & MARCI	5545 EAST HIDDEN VALLEY DR TOWNSHIP 19 SECTION 27 LOT 2-A BLOCK L RANGE 20 SUBDIVISIONNAME HIDDEN VALLEY SUBDIVISION 1
AREA	TAX RATE		
4000	3.2402000000		
ASSESSED VALUATION			EXEMPTION VALUES
LAND		21,105	EXEMPTION
IMPROVEMENT		0	0.00
TOTAL ASSESSED VALUE			21,105

### 2017 ACCOUNT SUMMARY

GROSS AD VALOREM TAX	683.84
ABATEMENT AMOUNT	-204.95
<small>*ABATEMENT APPLIED LIMITS INCREASE TO 2.6%*</small>	
RECAPTURE TAX	0.00
NET AD VALOREM TAX	478.89
EXEMPTION AMOUNT	0.00
SPECIAL ASSESSMENTS	0.03
PENALTIES	0.00
FEES	0.00
INTEREST	0.00
<b>TOTAL AMOUNT BILLED</b>	<b>478.92</b>
<b>LESS PAYMENTS APPLIED</b>	<b>478.92</b>
<b>BALANCE REMAINING</b>	<b>0.00</b>
<b>PRIOR YEAR DELINQUENCIES</b>	<b>0.00</b>
<b>TOTAL BALANCE OWING</b>	<b>\$0.00</b>
<b>Amount good through 06/11/2018</b>	

### 2017 BILLING DETAIL

TAXING AGENCY	RATE	AMOUNT	SPEC. ASSESSMENTS	RATE	AMOUNT
STATE OF NEVADA	0.170000000	25.13	TRUCKEE/SUN VLY WATER BASIN		0.03
TRUCKEE MEADOWS FIRE DIST	0.540000000	79.81			
SCHOOL DEBT	0.388500000	57.42			
SCHOOL GENERAL	0.750000000	110.85			
COUNTY GENERAL	1.346700000	199.03			
COUNTY DEBT	0.015000000	2.22			
ANIMAL SHELTER	0.030000000	4.43			

IF PROPERTY IS PROTECTED BY BANKRUPTCY, THIS IS FOR YOUR INFORMATION. DO NOT CONSIDER THIS AS AN ATTEMPT TO COLLECT.

PAYMENTS RECEIVED WILL BE APPLIED TO THE OLDEST CHARGES FIRST.  
TO AVOID LATE CHARGES, PAYMENTS MUST BE POSTMARKED BY THE DUE DATE.  
ALL DELINQUENT AMOUNTS ARE DUE IMMEDIATELY.

PLEASE INCLUDE APPROPRIATE STUBS  
WITH PAYMENT TO ASSURE PROPER  
CREDIT.

05129307  
TODD & MARCI EEKHOFF  
5705 LONE HORSE DR  
RENO NV 89502

**MAKE REMITTANCES PAYABLE TO:**  
**WASHOE COUNTY TREASURER**  
**P O BOX 30039**  
**RENO NV 89520-3039**

SEE REVERSE FOR INFORMATION  
**WRVAR18-0004**  
**EXHIBIT D**

4

MAIL TO: WASHOE COUNTY TREASURER P O BOX 30039 RENO NV 89520-3039

TAX YEAR	AMOUNT TO PAY CURRENT	INSTALLMENT DUE DATE	PARCEL #
2017			05129307

If your address has changed, please provide the following information:

Address: \_\_\_\_\_

Effective Date: \_\_\_\_\_

Signature: \_\_\_\_\_

Daytime Phone Number: \_\_\_\_\_

DUPLICATE  
DO NOT USE THIS COUPON

3

MAIL TO: WASHOE COUNTY TREASURER P O BOX 30039 RENO NV 89520-3039

TAX YEAR	AMOUNT TO PAY CURRENT	INSTALLMENT DUE DATE	PARCEL #
2017			05129307

If your address has changed, please provide the following information:

Address: \_\_\_\_\_

Effective Date: \_\_\_\_\_

Signature: \_\_\_\_\_

Daytime Phone Number: \_\_\_\_\_

DUPLICATE  
DO NOT USE THIS COUPON

2

MAIL TO: WASHOE COUNTY TREASURER P O BOX 30039 RENO NV 89520-3039

TAX YEAR	AMOUNT TO PAY CURRENT	INSTALLMENT DUE DATE	PARCEL #
2017			05129307

If your address has changed, please provide the following information:

Address: \_\_\_\_\_

Effective Date: \_\_\_\_\_

Signature: \_\_\_\_\_

Daytime Phone Number: \_\_\_\_\_

DUPLICATE  
DO NOT USE THIS COUPON

1

MAIL TO: WASHOE COUNTY TREASURER P O BOX 30039 RENO NV 89520-3039

TAX YEAR	AMOUNT TO PAY CURRENT	INSTALLMENT DUE DATE	TOTAL AMOUNT DUE	PARCEL #
2017				05129307

If your address has changed, please provide the following information:

Address: \_\_\_\_\_

Effective Date: \_\_\_\_\_

Signature: \_\_\_\_\_

Daytime Phone Number: \_\_\_\_\_

DUPLICATE  
DO NOT USE THIS COUPON

# Variance Application Supplemental Information

(All required information may be separately attached)

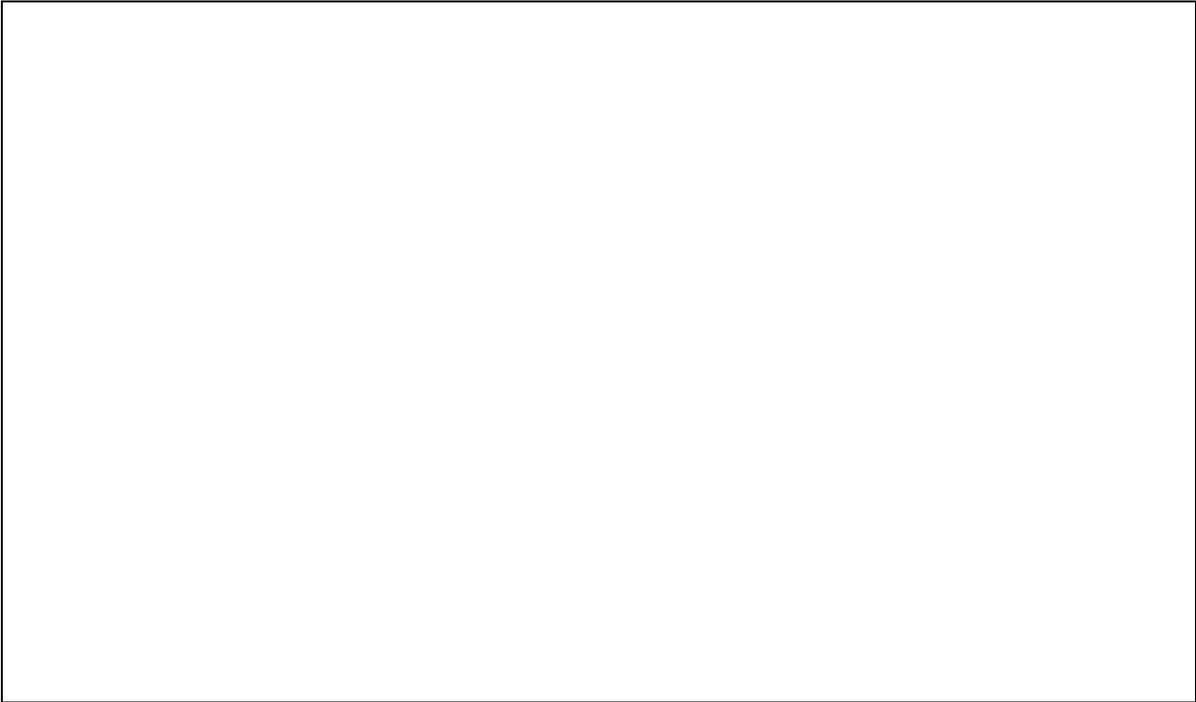
Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to variances may be found in Article 804, Variances.

1. What provisions of the Development Code (e.g. front yard setback, height, etc.) must be waived or varied to permit your request?

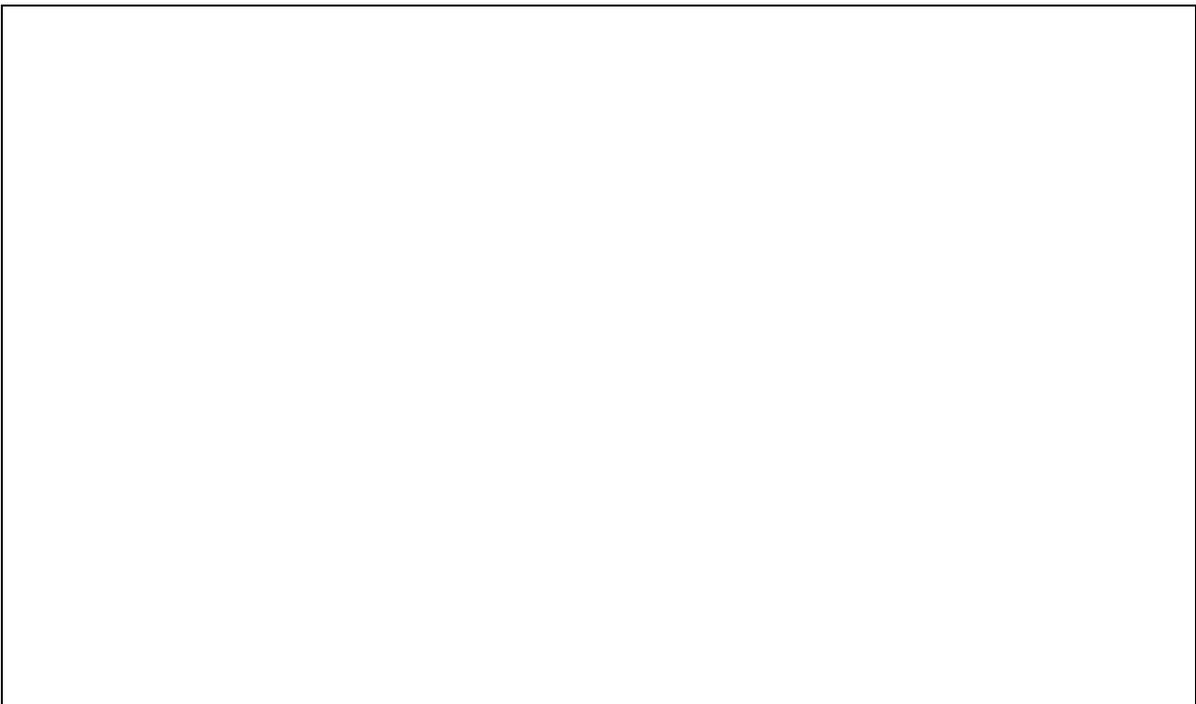
**You must answer the following questions in detail. Failure to provide complete and accurate information will result in denial of the application.**

2. What are the topographic conditions, extraordinary or exceptional circumstances, shape of the property or location of surroundings that are unique to your property and, therefore, prevent you from complying with the Development Code requirements?

3. What steps will be taken to prevent substantial negative impacts (e.g. blocking views, reducing privacy, decreasing pedestrian or traffic safety, etc.) to other properties or uses in the area?



4. How will this variance enhance the scenic or environmental character of the neighborhood (e.g. eliminate encroachment onto slopes or wetlands, provide enclosed parking, eliminate clutter in view of neighbors, etc.)?



5. What enjoyment or use of your property would you be denied that is common to other properties in your neighborhood?

--

6. Are there any restrictive covenants, recorded conditions or deed restrictions (CC&Rs) that apply to the area subject to the variance request?

<input type="checkbox"/> Yes	<input type="checkbox"/> No	If yes, please attach a copy.
------------------------------	-----------------------------	-------------------------------

7. What is your type of water service provided?

--

8. What is your type of sewer service provided?

--

# FIRST CENTENNIAL TITLE COMPANY OF NEVADA

- 1450 RIDGEVIEW DR., SUITE 100 \* RENO, NV 89519 (775) 689-8510
- 800 SOUTHWOOD BLVD., SUITE 107 \* INCLINE VILLAGE, NV 89451 (775) 831-8200
- 3700 LAKESIDE DR., SUITE 110 \* RENO, NV 89509 (775) 689-8235
- 4870 VISTA BLVD., SUITE 110, SPARKS, NV 89436 (775) 689-8551
- 896 WEST NYE LANE, SUITE 104 \* CARSON CITY, NV 89703 (775) 841-6580
- 3255 SOUTH VIRGINIA STREET SUITE B \* RENO, NV 89502 (775) 800-1981
- 3748 LAKESIDE DRIVE, SUITE 100, RENO NV 89509 (775) 689-1810

Issuing Policies Of  
**Real Advantage Title Insurance Company**

**Today's Date:**  
**February 14, 2018**

**1<sup>st</sup> AMENDMENT**

---

## PRELIMINARY REPORT

Proposed Borrower: **Todd Eekhoff and Marci Eekhoff**

Property Address: **5545 E. Hidden Valley Drive  
Reno, NV 89502**

**UFCU  
Danielle Riggs**

**Proposed Insured: *United Federal Credit  
Union, ISAOA-ATIMA***  
**Proposed Loan Amount: *\$1,750,000.00***  
**P.O Box 125  
Saint Josphe, MI 49085**

Escrow Officer: **Sherrie Hoss**

Our No.: **233468-SH1**

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**The information contained in this report is through the date of  
February 5, 2018 at 7:30 A.M.**

In response to the above referenced application for a policy of title insurance, First Centennial Title Company of Nevada, Inc. hereby reports that it is prepared to issue, or cause to be issued, as of the date hereof, an American Land Title Association Standard Coverage Policy of Title Insurance describing the land and the estate or interest therein set forth, insuring against loss which may be sustained by reason of any defect, lien or encumbrance not shown or referred to as an Exception below or not excluded from coverage pursuant to the printed Schedules, Conditions and Stipulations of said Policy form.

This report (and any supplements or amendments thereof) is issued solely for the purpose of facilitating the issuance of a policy of title insurance and no liability is assumed hereby.

*Diana Beeson*

by: \_\_\_\_\_  
Diana Beeson, Title Officer

SCHEDULE A

The estate or interest in the land hereinafter described or referred to covered by this report is:

**FEE SIMPLE**

Title to said estate or interest at the date hereof is vested in:

**TODD EEKHOFF and MARCI EEKHOFF, husband and wife as joint tenants with the right of survivorship**

The land referred to in this Report is situate in the State of NEVADA, County of Washoe.

**SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF**

## SCHEDULE B

At the date hereof Exceptions to coverage in addition to the printed exceptions and exclusions in said policy form would be as follows:

1. Except all water, claims or rights to water, in or under said land.
2. Any additional tax that may be levied against said land due to the supplemental tax roll, by reason of a change in ownership or completion of new construction thereon.
3. Any liens which may be levied by reasons of said premises being within the Washoe County Public Works Department, Utility Division. (Specific amounts may be obtained from Washoe County Public Works Department, Phone Number 954-4601).
4. Any unpaid charges for delinquent garbage fees, plus any interest and/or penalties, which would created a lien and attach to said premises, pursuant to Nevada Revised Statutes Section 444.520.
5. Covenants, conditions and restrictions, set forth in a Declaration of Restrictions, recorded July 18, 1957, in Book 6, Page 531, as Document No. 276776, Deed Records, Washoe County, Nevada; but omitting any covenants or restrictions, if any, but not limited to those based on race, color, religion, sex, sexual orientation, familial status, marital status, disability handicap, national origin, ancestry, or source of income as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law.

Said covenants, conditions, and restrictions, have been modified by an instrument recorded November 4, 1993, in Book 3891, Page 542, as Document No. 1729300, Washoe County, Nevada.

6. Easements, dedications, reservations, provisions, relinquishments, recitals, building set back lines, certificates, and any other matters as provided for or delineated on the Subdivision Map No. 562 referenced in the legal description contained herein.

Reference is hereby made to said Plat for particulars. If one is not included herewith, one will be furnished upon request.

7. Covenants, conditions and restrictions, set forth in a Declaration of Restrictions, recorded July 15, 1993, in Book 3790, Page 468, as Document No. 1692291, Official Records, Washoe County, Nevada; but omitting any covenants or restrictions, if any, but not limited to those based on race, color, religion, sex, sexual orientation, familial status, marital status, disability handicap, national origin, ancestry, or source of income as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law.

Said covenants, conditions, and restrictions, have been modified by an instrument recorded March 14, 1994, in Book 4007, Page 73, as Document No. 1775054, Washoe County, Nevada.

**SCHEDULE B**  
**(Continued)**

7. *(Continued)*

Said covenants, conditions, and restrictions, have been modified by an instrument recorded August 16, 1994, in Book 4130, Page 782, as Document No. 1824769, Washoe County, Nevada.

8. An easement for public utility/cable television, and incidental purposes, 7.5 feet along front lot line, 5 feet along rear lot line and 2.5 feet along side lot lines, as set forth in an instrument recorded December 17, 1992, in Book 3634, Page 400, as Document No. 1631249, Official Records.
9. Easements, dedications, reservations, provisions, relinquishments, recitals, building set back lines, certificates, and any other matters as provided for or delineated on Record of Survey Map No. 2526.

Reference is hereby made to said Plat for particulars. If one is not included herewith, one will be furnished upon request.

10. Easements, dedications, reservations, provisions, relinquishments, recitals, building set back lines, certificates, and any other matters as provided for or delineated on the Parcel Map referenced in the legal description contained herein.

Reference is hereby made to said Plat for particulars. If one is not included herewith, one will be furnished upon request.

11. If this Report is issued in contemplation of a Policy of Title Insurance which affords mechanics lien priority coverage (i.e. ALTA Policy); the following information must be supplied for review and approval prior to the closing and issuance of said Policy:
  - a. Signed Indemnity Agreement
  - b. Financial Statements
  - c. Construction Loan Agreement
  - d. Building Construction Contract between borrower and contractor
  - e. Cost breakdown of construction
  - f. Appraisal
  - g. Copy of Voucher or Disbursement Control Statement (if project is complete)
  - h. Copies of Waivers and/or Lien Releases from any party that supplied work or materials.

**SCHEDULE B**  
**(Continued)**

**NOTE:**

General and Special Taxes for proration purposes for the fiscal year 2017-2018 including any secured personal property and any district assessments, are PAID IN FULL.

Total Amount Taxed: \$683.87  
Credit: \$(204.95)  
Total Amount Paid: \$478.92  
Assessor's Parcel No.: 051-293-07

*Please contact the Washoe County Treasurer's Office at (775) 328-2510 to obtain current amounts due prior to the close of escrow.*

**NOTE:**

According to the public records there have been no conveyances of the property described in this Report within a period of 24 months prior to the date of this Report, except as follows:

**None.**

**NOTE:** This report is preparatory to the issuance of a Policy of Title Insurance, in the amount of land only, no Endorsement will be issued.

Property Address: 5545 E. Hidden Valley Drive, Reno, Nevada.

**EXHIBIT "A"**  
**Legal Description**

All that certain real property situate in the County of **Washoe**, State of **NEVADA**, described as follows:

Parcel 2-A as shown on Parcel Map 5107 for R.S. COOK FAMILY TRUST, recorded October 28, 2013 in File No. 4293667 in the office of the County Recorder of Washoe County, Nevada, located in a portion of Section 27, Township 19 North, Range 20 East, M.D.B.&M.

APN: **051-293-07**

**End of Report**

**JLM TITLE, LLC, a Nevada Limited Liability Company, dba FIRST  
CENTENNIAL TITLE COMPANY**

**PRIVACY POLICY**

**We Are Committed to Safeguarding Customer Information**

In order to better serve your needs now and in the future, we may ask you to provide us with certain information. We understand that you may be concerned about what we will do with such information – particularly any personal or financial information. We agree that you have a right to know how we will utilize the personal information that you provide to us. Therefore, we have adopted this Privacy Policy to govern the use and handling of your personal information.

**Applicability**

This Privacy Policy governs our use of the information which you provide to us. It does not govern the manner in which we may use information we have obtained from any other source, such as information obtained from a public record or from another person or entity.

**Types of Information**

Depending upon which of our services you are utilizing, the types of nonpublic personal information that we may collect include:

- Information we receive from you on applications, forms and in other communications to us, whether in writing, in person, by telephone or any other means.
- Information we receive from providers of services to us, such as appraisers, appraisal management companies, real estate agents and brokers and insurance agencies (this may include the appraised value, purchase price and other details about the property that is the subject of your transaction with us).
- Information about your transactions with us, our Affiliated Companies, or others; and
- Information we receive from a consumer reporting agency.

**Use of Information**

We request information from you for our own legitimate business purposes and not for benefit of any nonaffiliated party. Therefore, we will not release your information to nonaffiliated parties except: (1) as necessary for us to provide the product or service you have requested of us; or (2) as permitted by law. We may, however, store such information indefinitely, including the period after which any customer relationship has ceased. Such information may be used for any internal purpose, such as quality control efforts or customer analysis.

**Former Customers**

**Even if you are no longer our customer, our Privacy Policy will continue to apply to you.**

**Confidentiality and Security**

We will use our best efforts to ensure that no unauthorized parties have access to any of your information. We restrict access to nonpublic personal information about you to those individuals and entities who need to know that information to provide products or services to you. We will use our best efforts to train and oversee our employees and agents to ensure that your information will be handled responsibly and in accordance with this Privacy Policy. We currently maintain physical, electronic, and procedural safeguards that comply with federal regulations to guard your nonpublic personal information.

**Other Important Information**

We reserve the right to modify or supplement this Privacy Policy at any time. If our Privacy Policy changes, we will provide the new Privacy Policy and the ability to opt out (as required by law) before the new policy becomes effective.





**NOTICE OF TAXES  
WASHOE COUNTY, NEVADA**

TAMMI DAVIS TREASURER  
tax@washoecounty.us  
Annual - Real

2017176348  
www.washoecounty.us/treas  
PHONE 775-328-2510  
FAX 775-328-2500  
06/11/2018 9:53 am

**OFFICE LOCATION:**  
1001 E NINTH ST-BLDG D RM140  
RENO, NV

TAX YEAR	PIN	NAME	PROPERTY LOCATION AND DESCRIPTION
2017	05129307	EEKHOFF, TODD & MARCI	5545 EAST HIDDEN VALLEY DR TOWNSHIP 19 SECTION 27 LOT 2-A BLOCK L RANGE 20 SUBDIVISIONNAME HIDDEN VALLEY SUBDIVISION 1
AREA	TAX RATE		
4000	3.2402000000		
ASSESSED VALUATION			EXEMPTION VALUES
LAND		21,105	EXEMPTION 0.00
IMPROVEMENT		0	
TOTAL ASSESSED VALUE			21,105

**2017 ACCOUNT SUMMARY**

GROSS AD VALOREM TAX	683.84
ABATEMENT AMOUNT	-204.95
*ABATEMENT APPLIED LIMITS INCREASE TO 2.6%*	
RECAPTURE TAX	0.00
NET AD VALOREM TAX	478.89
EXEMPTION AMOUNT	0.00
SPECIAL ASSESSMENTS	0.03
PENALTIES	0.00
FEES	0.00
INTEREST	0.00
<b>TOTAL AMOUNT BILLED</b>	<b>478.92</b>
LESS PAYMENTS APPLIED	478.92
BALANCE REMAINING	0.00
PRIOR YEAR DELINQUENCIES	0.00
<b>TOTAL BALANCE OWING</b>	<b>\$0.00</b>
Amount good through 06/11/2018	

**2017 BILLING DETAIL**

TAXING AGENCY	RATE	AMOUNT	SPEC. ASSESSMENTS	RATE	AMOUNT
STATE OF NEVADA	0.170000000	25.13	TRUCKEE/SUN VLY WATER BASIN		0.03
TRUCKEE MEADOWS FIRE DIST	0.540000000	79.81			
SCHOOL DEBT	0.388500000	57.42			
SCHOOL GENERAL	0.750000000	110.85			
COUNTY GENERAL	1.346700000	199.03			
COUNTY DEBT	0.015000000	2.22			
ANIMAL SHELTER	0.030000000	4.43			

IF PROPERTY IS PROTECTED BY BANKRUPTCY, THIS IS FOR YOUR INFORMATION. DO NOT CONSIDER THIS AS AN ATTEMPT TO COLLECT.

PAYMENTS RECEIVED WILL BE APPLIED TO THE OLDEST CHARGES FIRST.  
TO AVOID LATE CHARGES, PAYMENTS MUST BE POSTMARKED BY THE DUE DATE.  
ALL DELINQUENT AMOUNTS ARE DUE IMMEDIATELY.

PLEASE INCLUDE APPROPRIATE STUBS  
WITH PAYMENT TO ASSURE PROPER  
CREDIT.

05129307  
TODD & MARCI EEKHOFF  
5705 LONE HORSE DR  
RENO NV 89502

MAKE REMITTANCES PAYABLE TO:  
WASHOE COUNTY TREASURER  
P O BOX 30039  
RENO NV 89520-3039

SEE REVERSE FOR INFORMATION.

**WPVAR18-0004  
EXHIBIT D**

4

MAIL TO: WASHOE COUNTY TREASURER P O BOX 30039 RENO NV 89520-3039

TAX YEAR	AMOUNT TO PAY CURRENT	INSTALLMENT DUE DATE	PARCEL #
2017			05129307

DUPLICATE  
DO NOT USE THIS COUPON

If your address has changed, please provide the following information:

Address: \_\_\_\_\_

Effective Date: \_\_\_\_\_

Signature: \_\_\_\_\_

Daytime Phone Number: \_\_\_\_\_

3

MAIL TO: WASHOE COUNTY TREASURER P O BOX 30039 RENO NV 89520-3039

TAX YEAR	AMOUNT TO PAY CURRENT	INSTALLMENT DUE DATE	PARCEL #
2017			05129307

DUPLICATE  
DO NOT USE THIS COUPON

If your address has changed, please provide the following information:

Address: \_\_\_\_\_

Effective Date: \_\_\_\_\_

Signature: \_\_\_\_\_

Daytime Phone Number: \_\_\_\_\_

2

MAIL TO: WASHOE COUNTY TREASURER P O BOX 30039 RENO NV 89520-3039

TAX YEAR	AMOUNT TO PAY CURRENT	INSTALLMENT DUE DATE	PARCEL #
2017			05129307

DUPLICATE  
DO NOT USE THIS COUPON

If your address has changed, please provide the following information:

Address: \_\_\_\_\_

Effective Date: \_\_\_\_\_

Signature: \_\_\_\_\_

Daytime Phone Number: \_\_\_\_\_

1

MAIL TO: WASHOE COUNTY TREASURER P O BOX 30039 RENO NV 89520-3039

TAX YEAR	AMOUNT TO PAY CURRENT	INSTALLMENT DUE DATE	TOTAL AMOUNT DUE	PARCEL #
2017				05129307

DUPLICATE  
DO NOT USE THIS COUPON

If your address has changed, please provide the following information:

Address: \_\_\_\_\_

Effective Date: \_\_\_\_\_

Signature: \_\_\_\_\_

Daytime Phone Number: \_\_\_\_\_

**ESCROW NOTE:**

**WE FIND NO OPEN DEED OF TRUST. PLEASE VERIFY THAT THIS PROPERTY IS  
FREE AND CLEAR**

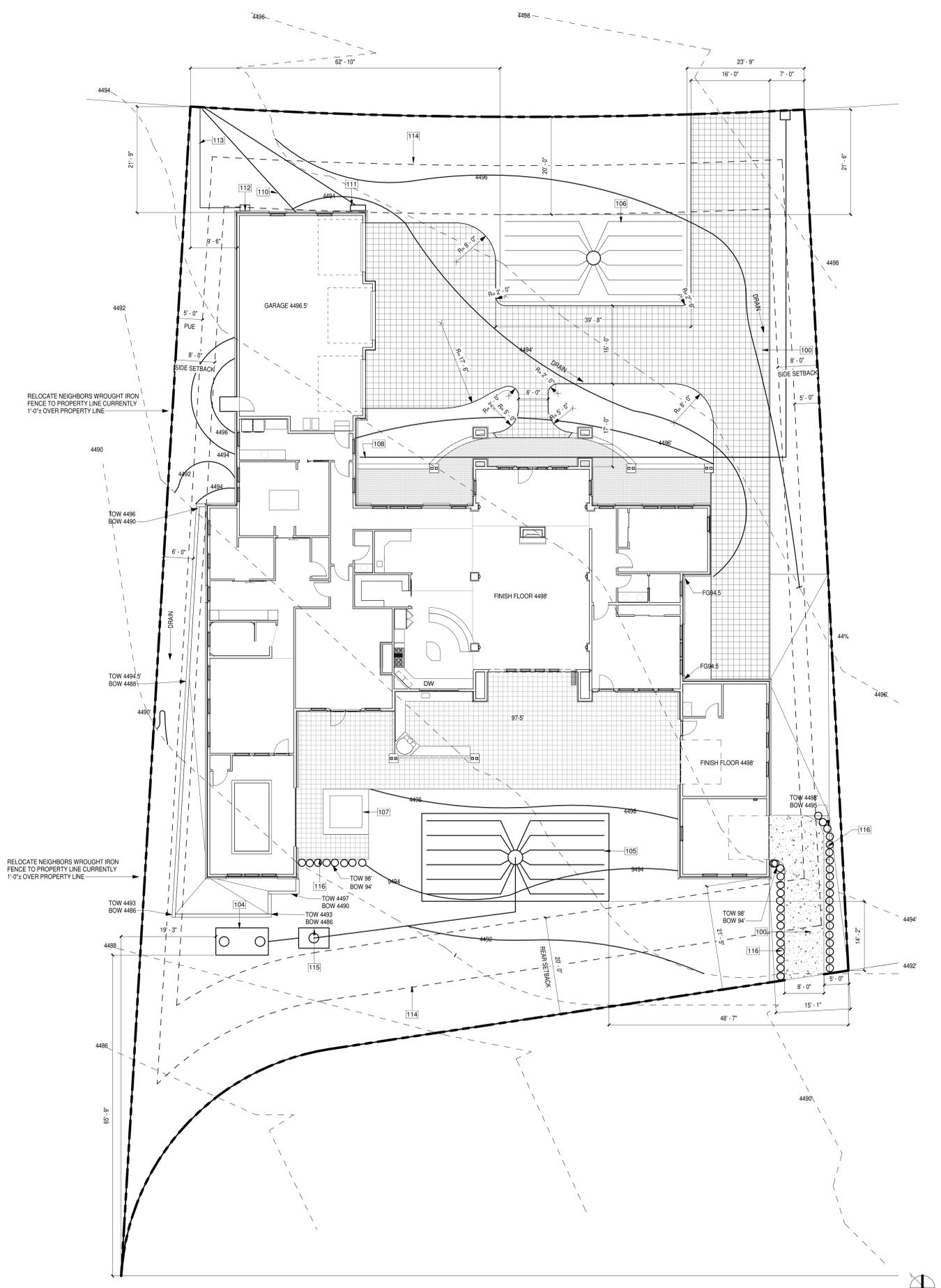
**VERIFIED BY SELLER:**

  
\_\_\_\_\_

**Todd Eekhoff**

  
\_\_\_\_\_

**Marci Eekhoff**



**1 ARCHITECTURAL SITE PLAN**  
A-5.1 | A-1.1 1" = 10'-0"

**SITE NOTES**

**APPLICANT**  
TODD AND MARCI EEKHOFF  
5545 EAST HIDDEN VALLEY DRIVE  
RENO, NV  
PHONE: (775) 825-6450  
APN - 051-293-07  
LOT AREA - 25,507 SF (0.58 ACRES)  
EXCAVATION - 88 CUBIC YARDS EXCAVATED  
GRADING - 1,526 SF OF DISTURBED AREA  
NEW RESIDENCE  
3 BEDROOMS 3.5 BATHROOMS  
BASEMENT  
THERE ARE NO KNOWN CONDITIONS IMPOSED ON THE PROPERTY BY THE HEALTH AUTHORITY AS A RESULT OF VARIANCE, PARCEL MAP OR SUBDIVISION MAP.  
THERE IS NOT AN AVAILABLE ON-SITE WELL.  
THERE ARE NO ON-SITE SEWAGE DISPOSAL SYSTEMS WITHIN 100 FEET OF THE PROPERTY.  
NO SEWER SYSTEM WITHIN 400 FEET OF THE PROPERTY  
THERE ARE NO PRIVATE WELLS WITHIN 100 FEET OF THE PROPERTY  
THERE ARE NO PUBLIC WELLS WITHIN 200 FEET OF THE PROPERTY  
NO WATERCOURSE OR DRAINAGE CHANNEL WITHIN 100 FEET OF THE PROPERTY  
THE PROPERTY IS NOT IN A 100 YEAR FLOOD PLAN

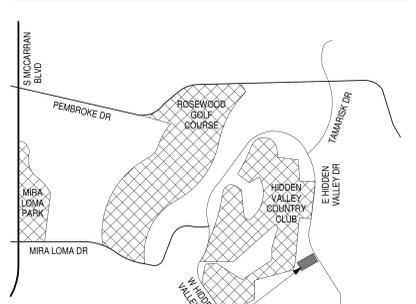
**SEPTIC SYSTEM NOTES**

1. SEPTIC SYSTEM IS AT LEAST 100 FEET AWAY FROM WATER SOURCES
2. 1,500 GALLON SEPTIC TANK IS A MINIMUM 8'-0" AWAY FROM RESIDENCE.
3. LEACH FIELDS AREA A MINIMUM OF 5'-0" AWAY FROM SEPTIC TANK, AT LEAST 20'-0" AWAY FROM RESIDENCE AND 10'-0" MINIMUM FROM PROPERTY LINES
4. NO TREES ARE TO BE PLANTED WITHIN 10'-0" OF LEACH FIELDS.

**KEYNOTES**

- 100 PAVER DRIVEWAY OVER 4" COMPACTED SAND
- 104 1500 GALLON SEPTIC TANK
- 105 ENGINEERED LEACH
- 106 REPAIR AREA
- 107 BUILT IN HOT TUB
- 108 1" WATER SERVICE
- 110 ELECTRICAL, CATV, TELEPHONE SERVICE
- 111 ELECTRICAL METER
- 112 GAS METER
- 113 GAS SERVICE
- 114 1/2" P.U.E.
- 115 SEPTIC PUMP
- 116 ROCKERY WALL

**LEGEND**



**PROJECT SITE**

Revision Schedule		
#	Description	Date

6/15/2018 10:32:30 AM
-----------------------

6/15/2018 10:32:30 AM

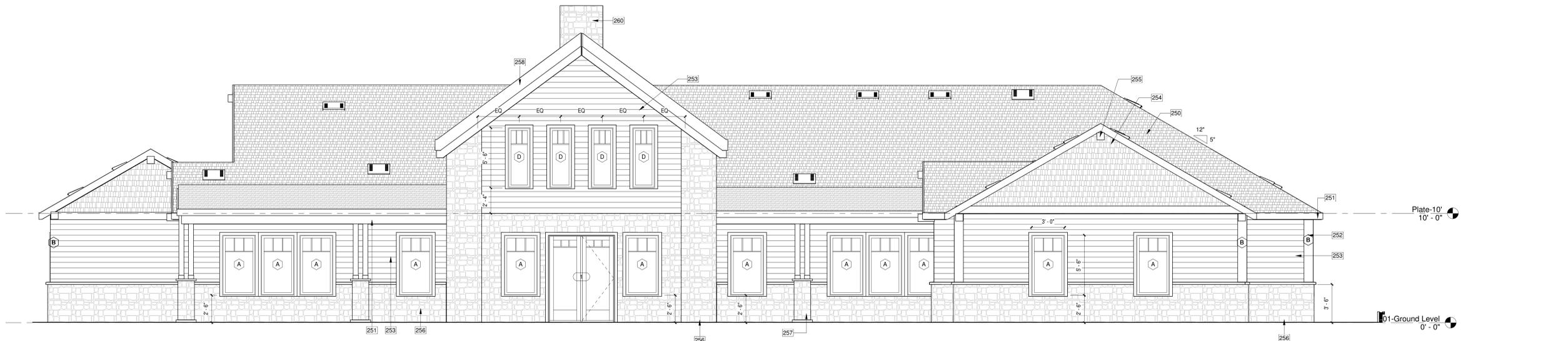
**Frame**  
ARCHITECTURE, INC  
4090 South McCarran Blvd  
Unit E  
Reno, NV 89502

**EEKHOFF RESIDENCE**  
5545 E HIDDEN VALLEY DRIVE  
RENO, NV 89502  
APN: 051-293-07  
**Architectural Site Plan**

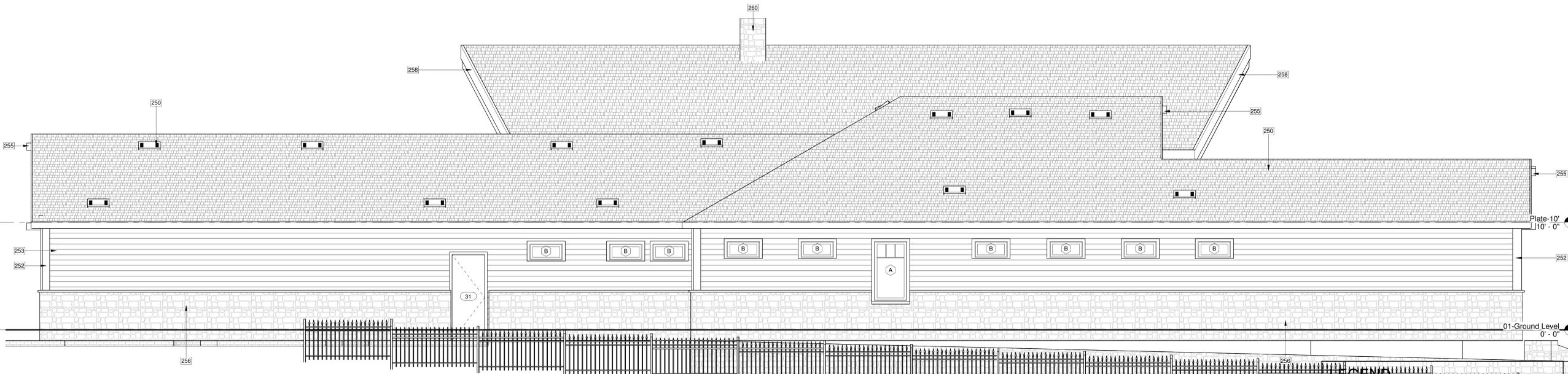
PROJECT MANAGER	
DRAWN BY	CHECKED BY
DATE	
PROJECT NUMBER	
	06-09-2018
	16-16
SHEET	
	<b>A-1.1</b>

**KEYNOTES**

- 250 COMPOSITION SHINGLE ROOFING OVER 2 LAYERS OF 15# FELT. USE ICE AND WATER SHIELD AT ALL OVERHANGS EXTENDING 2' OVER WALL LINE
- 251 5/4"x8" CEMENT FIBER FASCIA
- 252 5/4"x8" CEMENT FIBER TRIM
- 253 HORIZONTAL CEMENT FIBER SIDING 'CEDARMILL' WITH 7" EXPOSURE
- 254 CEMENT FIBER SHINGLE SIDING
- 255 WOOD BRACKET - SEE DETAIL
- 256 ADHERED STONE VENEER WAINSCOT
- 257 ENTRY POST COLUMN SEE DETAILS
- 258 BUILT UP CEMENT FIBER FASCIA AT GREAT ROOM SEE DETAIL
- 280 STONE VENEER CHIMNEY WITH METAL CAP



**1** NORTHEAST ELEVATION  
1/4" = 1'-0"



**4** NORTHWEST ELEVATION  
1/4" = 1'-0"

Revision Schedule	Description	Date

6/15/2018 10:32:34 AM

**Frame**  
ARCHITECTURE, INC  
4090 South McCarran Blvd  
Unit E  
Reno, NV 89502

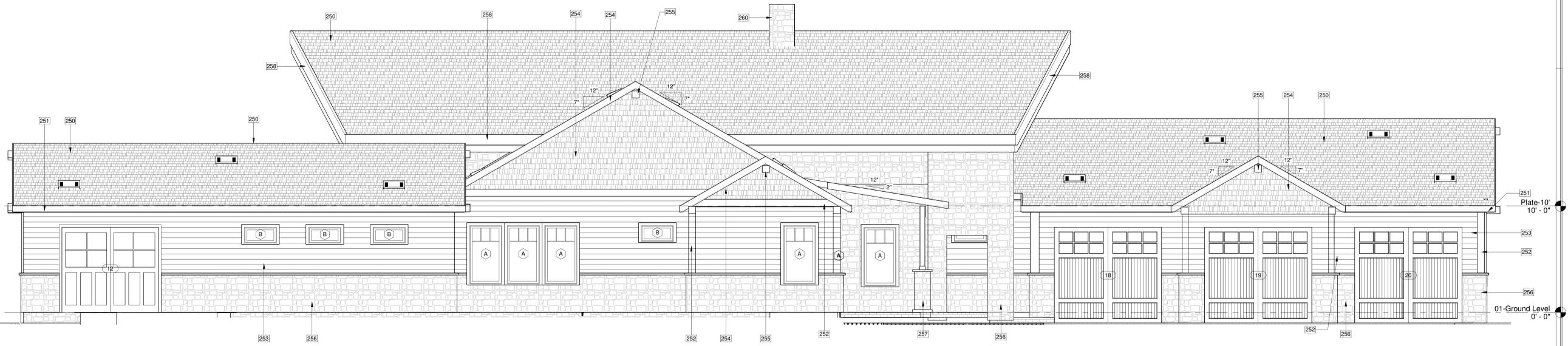
**ECKHOFF RESIDENCE**  
5545 E HIDDEN VALLEY DRIVE  
RENO, NV 89502  
APN: 051-293-07  
**Exterior Elevations**

PROJECT MANAGER	
DRAWN BY	CHECKED BY
JF	JF
DATE	06-09-2018
PROJECT NUMBER	16-16
SHEET	<b>A-5.1</b>

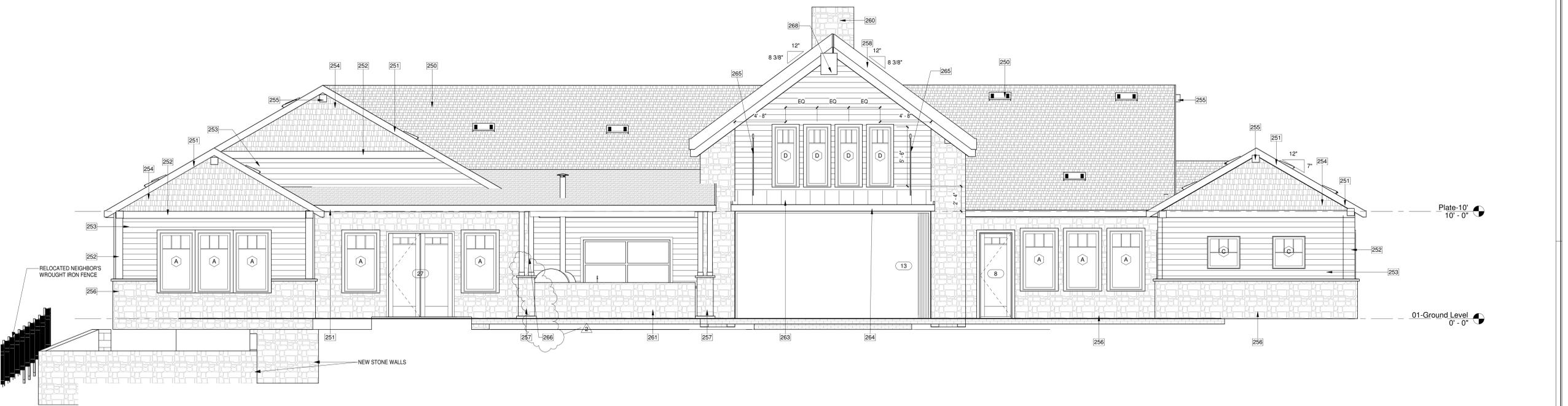
6/15/2018 10:32:34 AM  
2018/06/15 10:32:34 AM  
Residence16\_16\_0018.rvt

### KEYNOTES

- 250 COMPOSITION SHINGLE ROOFING OVER 2 LAYERS OF 15# FELT. USE ICE AND WATER SHIELD AT ALL OVERHANGS EXTENDING 2' OVER WALL LINE
- 251 5/4"x6" CEMENT FIBER FASCIA
- 252 5/4"x6" CEMENT FIBER TRIM
- 253 HORIZONTAL CEMENT FIBER SIDING "CEDARMILL" WITH 7" EXPOSURE
- 254 CEMENT FIBER SHINGLE SIDING
- 255 WOOD BRACKET - SEE DETAIL
- 256 ADHERED STONE VENEER WAINSCOT
- 257 ENTRY POST COLUMN SEE DETAILS
- 258 BUILT UP CEMENT FIBER FASCIA AT GREAT ROOM SEE DETAIL
- 260 STONE VENEER CHIMNEY WITH METAL CAP
- 261 OUTDOOR KITCHEN EATING BAR WITH ADHERED STONE VENEER
- 263 STANDING SEAM METAL ROOF
- 264 26 GA PAINTED METAL FASCIA
- 265 1" THREADED RODS WITH TURNBUCKLE
- 266 PAINTED WOOD COLUMNS



1 **SOUTHEAST ELEVATION**  
1/4" = 1'-0"



2 **SOUTHWEST ELEVATION**  
1/4" = 1'-0"

Revision Schedule		
#	Description	Date
1	Plan Check	10/1/17

6/15/2018 10:32:39 AM

**Frame**  
ARCHITECTURE, INC  
4090 South McCarran, Unit E  
Reno, NV 89502  
(775) 827-9977

**EELHOFF RESIDENCE**  
5645 E HIDDEN VALLEY DRIVE  
RENO, NV 89502  
APN: 051-293-07

**Exterior Elevations**

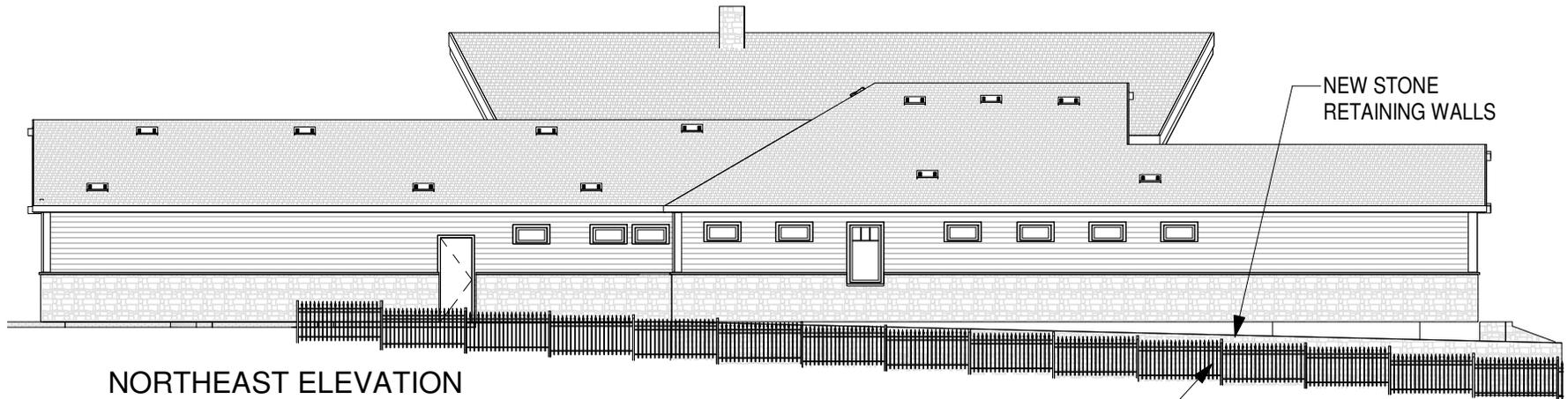
PROJECT MANAGER	
Design	
DRAWN BY	CHECKED BY
Author	Checker
DATE	06-09-2018
PROJECT NUMBER	
16-16	
SHEET	
<b>A-5.2</b>	

6/15/2018 10:32:39 AM - Responder 16\_16\_0018.rvt  
2018/06/15 10:32:39 AM





NORTHWEST ELEVATION



NORTHEAST ELEVATION

RELOCATED WROUGHT IRON FENCE

NEW STONE  
RETAINING WALLS

**Frame**  
ARCHITECTURE, INC  
4090 South McCarran Blvd. Unit E  
Reno, NV 89502  
(775) 827-9977 phone  
(775) 490-0018 fax

**ECKHOFF RESIDENCE**  
5545 E HIDDEN VALLEY DRIVE  
RENO, NV 89502  
APN: 051-293-07

**EXTERIOR ELEVATIONS**

6/15/2018 10:40:27 AM

SHEET  
**SD 1.2**

PROJECT NUMBER  
16-16

DATE  
06-09-2018

**WPVAR18-0004**  
**EXHIBIT D**

RELOCATED  
NEIGHBOR'S  
WROUGHT  
IRON FENCE



NEW STONE WALL

SOUTHWEST ELEVATION



SOUTHEAST ELEVATION

**Frame**  
ARCHITECTURE, INC  
4090 South McCarran Blvd. Unit E  
Reno, NV 89502  
(775) 827-9977 phone  
(775) 490-0018 fax

**ECKHOFF RESIDENCE**  
5545 E HIDDEN VALLEY DRIVE  
RENO, NV 89502  
APN: 051-293-07

**EXTERIOR ELEVATIONS**

6/15/2018 10:40:29 AM

SHEET  
**SD 1.3**

PROJECT NUMBER  
16-16

DATE  
06-09-2018

**WPVAR18-0004**  
**EXHIBIT D**



WP/AR18-0004  
EXHIBIT D